

HERITAGE HEIGHTS **HOME OWNERS ASSOCIATION**

ARCHITECTURAL & AESTHETICAL RULES AND **GUIDELINES**

Revision 3.

1. **Introduction**

The object of “**Heritage Heights Estate**” Architectural Guidelines, are to promote, advance and protect the communal interests of its members and more specifically to ensure a safe, high quality lifestyle to owners and occupants by managing the appropriate development of residences and related facilities, as well as communal facilities.

In order to achieve a harmonious and aesthetically pleasing environment, certain architectural guidelines have been defined.

All new buildings to be erected, alterations or additions to be made, have to be approved by the Board of Directors of the Home Owners Association, as well as the Architectural Committee.

The nominated Board and Committee shall be entitled not to approve any plans for any house, which in their opinion would detract from the aesthetic appearance of, or reduce the value of their houses in the estate.

The Board or Architectural Committee, will not be required to give reason for rejecting such a plan, nor shall the Homeowners Association incur any liability to any person in doing so.

1.1 **The Architectural Language, has the following principles:**

- Preferred single storey dwellings, but, double storey will be allowed (see town planning)
- Pitched or Mono Pitched roofs
- Shutters will be allowed to maximize privacy, and ensure that the cool breezes still flow through the house on warm summer evenings
- The NATURAL colours of Indigenous South Africa, appropriate to our area (Earthy tones, Savannah, Stone colours) form the basis of our Estate Colours. Final colour to be approved by the aesthetics committee, colour samples must be painted on the structure for approval.

2. **Architectural & Aesthetical Requirements & Guidelines**

2.1 **Minimum Size of Houses**

The minimum area of a dwelling on a residential stand must be 150m². (Note: The floor area specified above includes all roofed structures, including garages, patios etc.)

2.2 Design & Style

- The Planning of Buildings and Structures should show sensitivity towards the natural environment:
- No limitations are placed on design and style.
This is however, is subject to “good Architecture” and approval of all designs will remain the prerogative of “The Aesthetics Committee”
- The Architectural Design and Style of Buildings will be evaluated taking into account existing buildings in the immediate vicinity.
- As a general rule, all housing units must live out to the northern side, as far as possible, taking into consideration, the rotation of the site. Living areas will only be allowed to open up on the opposite side of the entrance/vehicular access, and not onto neighboring properties on either side.

2.3 Prohibited Building Materials etc

- Unpainted or reflective roofing material – metal sheeting must be pre-painted. White and bright coloured roofing.
- Pre-cast concrete walls, wire fencing, swimming pool type mesh fencing and “split-pole” type fencing.
- Unpainted plaster, uncoloured plaster or unplastered stock brick walls.
- Razor wire or similar type fences
- Lean to or temporary carports or shade netting structures.
- “Wendy Houses” or similar type structures.
- Bright coloured window and door frames
- Extensive use of flat roofs / concrete roofs. It may only be used if minimal and as a connecting element. Not more than 50 % of the covered area.
- Face brick of any type.
- Corbelling at eaves level

2.4 Miscellaneous Rules & Recommendations

- External finished must conform to good architecture so as not to detract from the general appearance of the neighborhood. Monotonous face brick applications will not be allowed.
- Staff quarters must be attached to the main building and may not be closer to the street than the main building.
- Special attention must be paid to the finish of parapets, fascias, capping eaves, roof trims, gutters and roof material. Details of the above mentioned must be submitted together with the building plans for approval by the aesthetics committee.
- Staff quarters and kitchens should open onto a courtyard. All exits and doors adjacent to neighbors must be screened with approved screen walls (min 1.8m high).
- Solar panels, if used, may not be visible from any street and should be incorporated into the buildings to form part of the basic structure and should be clearly shown and annotated. Only paneled solar heating is permitted (no coils or exposed piping). No external storage tanks will be allowed, the storage tanks must be confined within the roof space.
- The design and material of carports and patios must compliment the style and design of the main building and must be approved by the aesthetics committee. All garage motor units / opening units must be concealed within the structure and may not be visible from the street or adjacent stands.
- Washing lines must be concealed from the street and or other elevations.
- No radio masts may be erected.
- Mechanical equipment, such as air-conditioners (and grills), pool pumps etc, must be incorporated into buildings and or adequately enclosed or screened off from view.
- Only one type of roof material per dwelling may be visible from the street or the natural ground level of neighboring stands.
- All geysers fitted outside on flat roofs are to be enclosed in an aesthetically pleasing enclosure.
- All garages and outbuildings shall be constructed and finished to match the main house.
- Waste pipes should be un-obstructive and concealed as soon as possible in a ducting system.

- The height of the finished floor level may not exceed 0.85m directly above natural ground level at any point along the perimeter of the building. The building must be stepped to suite the natural slope of the ground.
- The erf must be fenced off with Green/Brown/Black shade netting before any excavating or construction may commence.
- Storage units may be constructed on the site, but may only be used for storage. This storage unit may not be used as temporary dwelling for contractors.
- The final electrical connection into the electrical box for the erf must be made by the electrician appointed by the HOA, and the costs will be for the owner.
- Windows and doors may only be covered with curtains, blinds or doors. No paper or cardboard of any sort will be allowed.
- Occupation of the dwelling may only take place once an occupational certificate from Mogale Municipality is handed in to the aesthetics committee.
- Building material deliveries must be made within the stipulated working times and the exit gate must be used. If a delivery vehicle damages any property of the HOA the owner will be liable for the costs.

2.5 Double Storey Dwellings

Double storey dwellings are subject to the approval of the aesthetics committee. The following must be considered:

- The right to privacy of surrounding neighbors
- As a general rule, no windows or balconies on the upper storey may overlook the living space of the adjacent property.
- The view of the surrounding neighbors
- Strict FAR regulations will be imposed as set out in Point 3 below

3. Town Planning

3.1 Density and Coverage

- The maximum building coverage is **60 percent** (including covered patios and outbuildings, but excluding open patios, pools, etc.)
 $(\text{Ground floor} / \text{erf size}) \times 100$
 E.g. $(168/450) \times 100 = 37.3\%$
- The floor area of an upper level may not exceed **60 percent** of the total floor area of the level directly below. These areas include any double volumes. Only one residence per erf is allowed with the exception of staff accommodation or a granny flat.
 $(\text{1st floor} / \text{ground floor}) \times 100$
 E.g. $(100/168) \times 100 = 59.5\%$
- The FAR may not exceed **60 percent** of the erf size.
 $((\text{ground floor} + \text{1}^{\text{st}} \text{ floor}) / \text{erf}) \times 100$
 $((168 + 100 / 450) \times 100) = 59.5\%$
- All the above floor areas must be indicated on the submitted plans.

3.2 Maximum Building Height

Two storeys (Total height to the top of the roof may not exceed 8,5m)
 This must be indicated on the submitted plans.

3.3 Building Lines

- Single Storey : 5 meters on street front
 1.5 meters on side boundaries
 3 meters on back boundary
- Double Storey : 5 meters on street front
 2 meters on side boundaries
 3 meters on back boundaries

Special consent for building line relaxations will ONLY be given to Erven bordering the public open space (Erf 4687) and to the Erven falling within the N14 servitude zone of 16 meters. Erf's 56, 75, 65, 66, 112, 121, 76, 82, 83, 104 special consent for building line relaxations will be allowed as prescribed by the aesthetics committee. **No zero building lines will be allowed.**

3.4 Access

Vehicular access to plots may be taken at one point only and not exceed 5m in width.

The vehicle and parking that is provided for the erf must be indicated on the submitted plans.

4. Treatment of Stand Boundaries

4.1 Street Boundaries

Although it is accepted that the diverse nature of single residential neighbourhoods lead to a varied treatment of street boundaries, every effort should be made to avoid the hostile environment, high walled properties create. Living outwardly, instead of inwardly is the purpose and design criteria of this Estate.

In order to enhance the appearance of sidewalks, the streetscape and the estate generally, the following guidelines will apply:

- If boundary walling is essential on the street frontage, (for example to prevent small children or pets from leaving the property), then the use of good quality steel palisade or trellis fencing is preferred to solid brick walls.
- If solid walling is required to enhance the privacy of certain parts of the property, for example to screen the swimming pool from the street, such walling should be as low as possible and should not extend for more than 25 % of its length as a continuous line parallel to the street boundary. If a solid wall is unavoidable, a stepped or articulated wall should be used to be less detrimental to the streetscape. Refer to boundary wall guideline document (page 11 – 14).
- In order to provide parking space for cars and visitors parking, garages fronting directly onto the street should be set back a minimum of 5 meters from the stand boundary.

4.2 Side & Rear Boundaries

- The wall design must be integrated with the design of the house to form a whole.
- The side boundary walls should preferably be stopped short of the street boundary to enhance the streetscape.
- Walls should not exceed a maximum height of 2.1 meters.

4.3 Stands Fronting onto Open Areas (Parks)

Where stands front onto the open areas or parklands, the aesthetics of the interface is considered to be extremely important. In order to avoid the erection of unsightly solid walls along the edge of the open areas or neighbouring properties, the following guidelines will apply:

- Ideally the boundary between stands and open areas (parks) should be totally unfenced and only landscaped.
- If some form of boundary fencing is essential, then the use of an approved steel palisade or trellis fence will be permitted.
- The design of the palisade fence should comply with the specifications shown on the attached plan.
- Where a swimming pool needs an enclosure for privacy reasons, part of the fence can be bricked up.

5. Sidewalks

- 5.1 The landscaping of sidewalks is of paramount importance as they have a direct influence on the aesthetical quality of the Estate.
- 5.2 Every owner has a responsibility to the neighbourhood as whole to landscape and maintain the area between the road surface and their boundary walls / stand boundary.
- 5.3 No building material or other refuse may be dumped on the sidewalks or neighboring erf's and all building rubble must be removed on a weekly basis and before an occupational certificate will be issued.
- 5.4 Trees planted on the sidewalk should conform to "The Tree Planting Development Plan". The plan is available on request and was specifically prepared to establish a uniform character on sections of the Estate.

6. Landscaping

- 6.1 Existing trees must be preserved as far as possible and may not be removed without the consent of the Aesthetics Committee. Building designs must, where possible, take existing trees into consideration.
- 6.2 Where existing trees are damaged or removed without prior consent from the Aesthetics Committee, the owner will be obliged to replace the tree at his own cost.
- 6.3 All areas of the garden of Residential units that are visible from the street (including sidewalks), must be landscaped before occupancy. A minimum requirement is that these areas be planted with instant lawn.
- 6.4 The planting of hedge growers are recommended and the planting of indigenous trees and shrubs are a prerequisite.

7. Aesthetic Committee

7.1 The aesthetic committee shall consist of:

- A minimum of two of the directors of the home owners association.
- A minimum of one registered architect.
- Any other interested party nominated by the members of the home owners association

7.2 The main objective of this committee shall be to study the building plans and make a decision as to the acceptability of such building plans, with particular reference to the aesthetic qualities of the building to be erected.

7.3 The aesthetic committee reserve the right to request any such changes in design or site layout that, in their opinion, is required to preserve the architectural and environmental objectives of Pinehaven Country Estate

7.4 A plan scrutiny fee in accordance with current Architectural Institute time tariffs will be charge by the home owners association, as well as normal disbursement cost. The minimum fee of R750 will be applicable for the normal submission, should the submission present any complications or contradictions in terms of the design manual which will necessitate additional debate or investigation, a time charge of R250/hour will be levied. The application will be notified of any contentious elements, which could result in a debate or investigation.

7.5 The responsibility for the final approval of building plans rest with the relevant local authority, but such plans may only be submitted to the local authority after evaluation and approval by the aesthetic committee.

7.6 The aesthetics committee will meet once a month to scrutinize any submitted plans.

8. Building Development Control

8.1 A refundable deposit (as determined by the estate) shall be paid by the owner on submission of the building plans to the estate Aesthetics Committee to cover the costs of rehabilitating public sidewalks, road, open spaces, parklands and adjoining erven.

8.2 The said deposit shall also cover costs caused by non compliance with the building plans and regulations where the building contractor fails to:

- Replant of grass or trees damaged through building activities
- Removal of rubble or rubbish left on the sidewalks or adjoining erven
- Repairs to any damaged street fixture, streetlights, litter bins, benches, etc
- Repairs to any damaged electrical and telephone boxes or any manhole covers
- Repairs to any damaged curbs or storm water drains on the street side
- Repairs to any damaged paving or concrete spills on paved surfaces cleaned up properly
- Repairs to water irrigation pipes or sprinklers damaged
- Repairs to any cable or pipes damaged during any excavation activities
- Complete building in accordance with the approved building plans

- Plaster and paint boundary walls both sides
- Conceal all plumbing pipes exposed from the building
- Remove all signboards

If the costs are more than the deposit amount, the difference will be for the owners account.

- 8.3 The amount of the footway deposit will be R2 500 of which R2 000 will be refunded once the house construction has been completed, the R500 will be used for the maintenance of the internal roads.
- 8.4 The deposit will be refunded on the completion of the building works, subject to inspection of the property by the Home Owners Association and rectification of any damages by the owner.
- 8.5 If the owner fails to rectify any damage, the association shall use the deposit for that purpose, if the costs are more than the deposit amount the difference will be for the owners account.
- 8.6 The committee will not approve plans until the appropriate deposit has been paid or has an outstanding levy bill with the HOA.

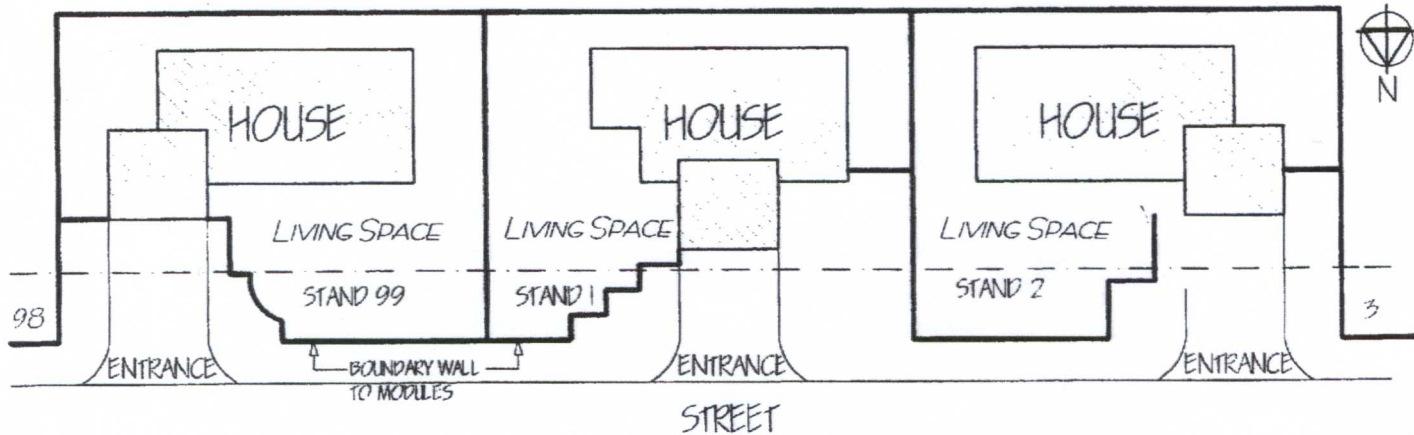
9. Process for approval of building plans and landscape proposals

- 9.1 Four sets of Building plans must be submitted to the aesthetic committee (dropped off at the guardhouse)
- 9.2 Payment of footway deposit and plan inspection fee
- 9.3 Inspection and approval of plans by committee (not longer than two weeks from date of meeting)
- 9.4 Issue of building authorization certificate by committee (subject to local authority approval)
- 9.5 Submission to local authority once approved by committee
- 9.6 As soon as owner obtains approval (temporary or final) from the local authority they may start to build
- 9.7 On completion and after obtaining occupancy certificate application to refund deposit can be lodged at the committee.

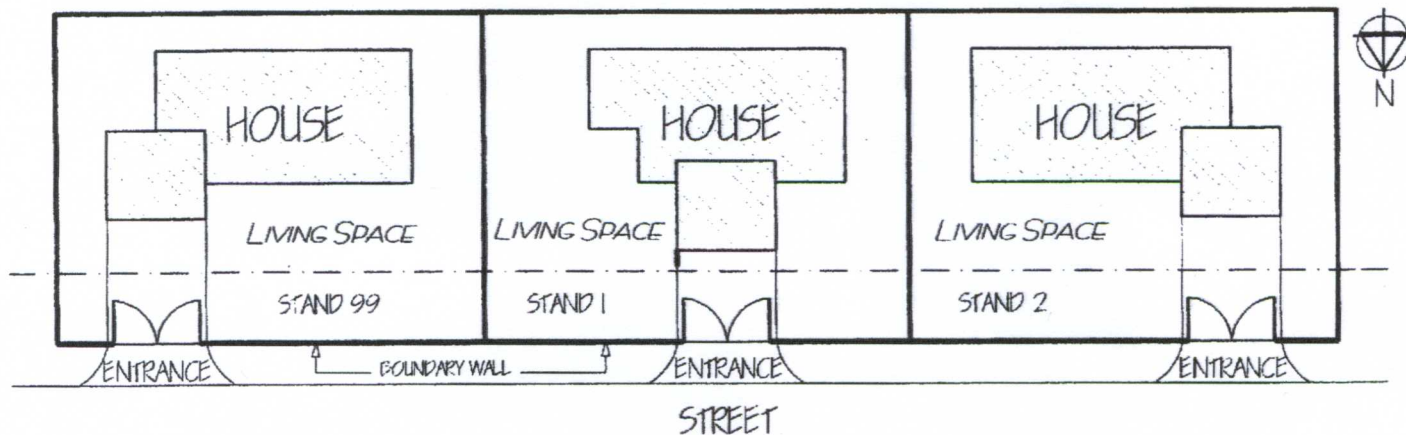
10. Building regulations

- 10.1 Building operation should not exceed twelve months in duration
- 10.2 Any future improvements to the exterior of the property shall conform to the design manual guidelines
- 10.3 The improvement must be effected within a reasonable period of time.
- 10.4 The following access and working time table will be applicable to all construction sites:
Monday to Friday : 08:00 - 17:00
Saturday 08:00 – 15:00
- 10.5 Strict control and adherence to the “rules of conduct for contractors” are the responsibility of the owner.
- 10.6 On site toilets must be provided and maintained.

STREET BOUNDARY WALLS



ARTICULATED BOUNDARY WALLS



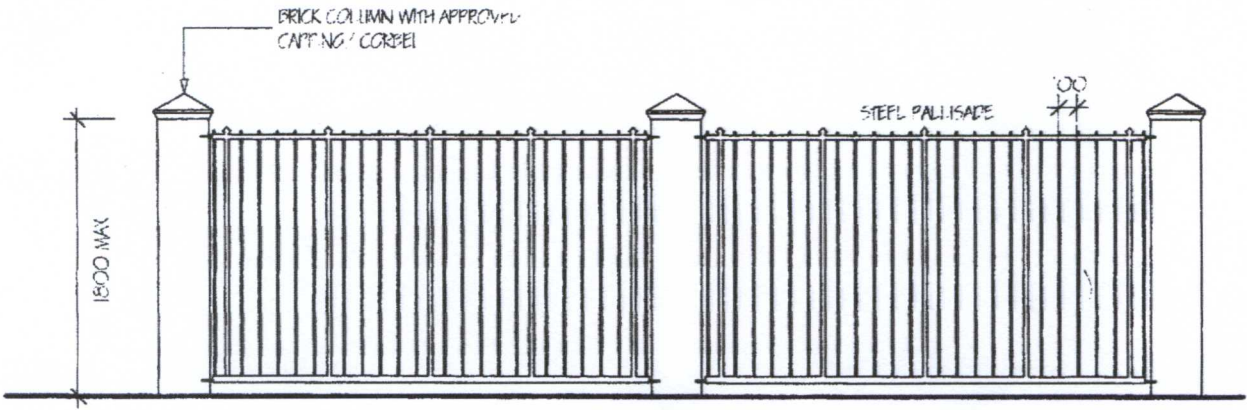
STRAIGHT BOUNDARY WALLS



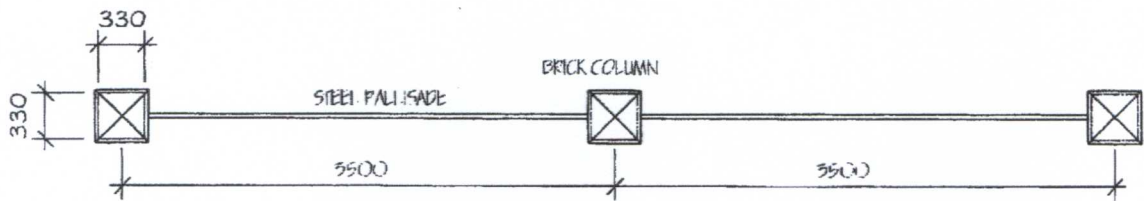
BOUNDARY WALL GUIDE LINES

If solid walling is required to enhance the privacy of certain parts of the property, for example to screen the swimmingpool from the street, such walling should be as low as possible, and should not extend more than 25% of its length as a continuous line parallel to the street boundary a stepped-back or articulated wall is required to enhance the streetscape.

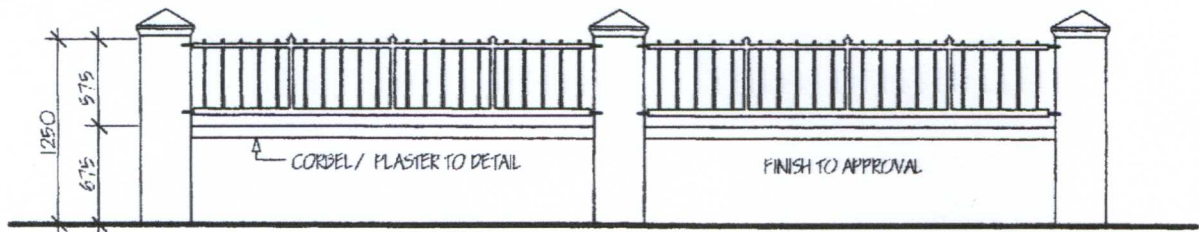




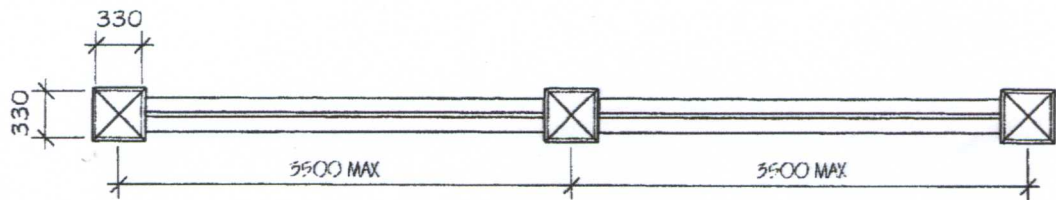
ELEVATION



PLAN



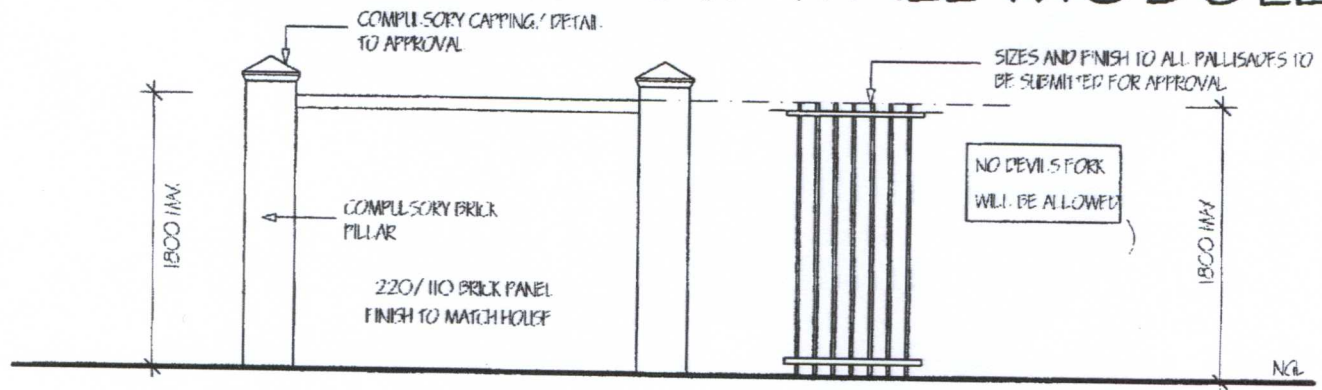
ELEVATION



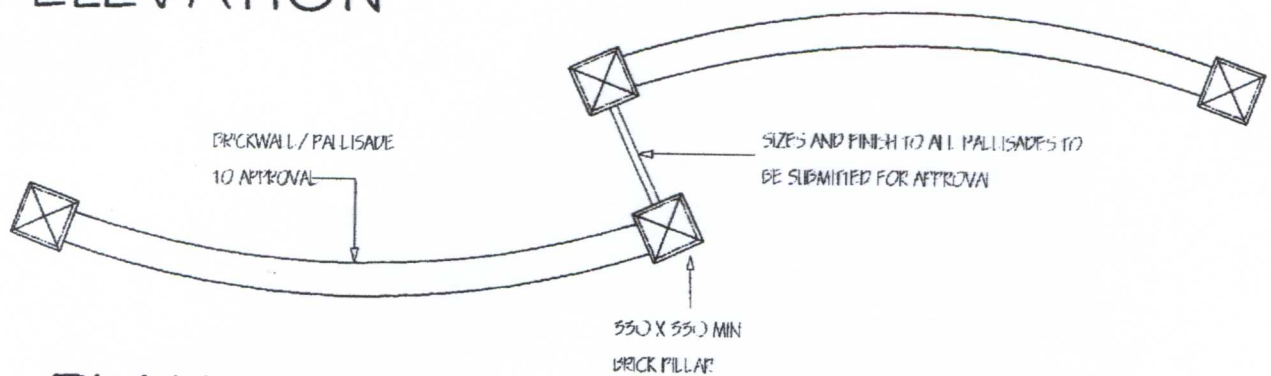
PLAN



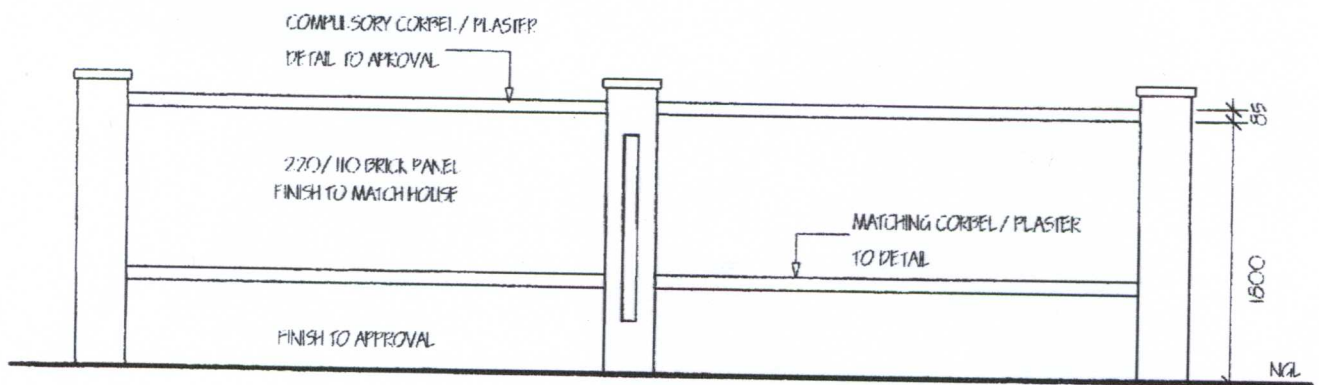
STREET BOUNDARY WALL MODULES



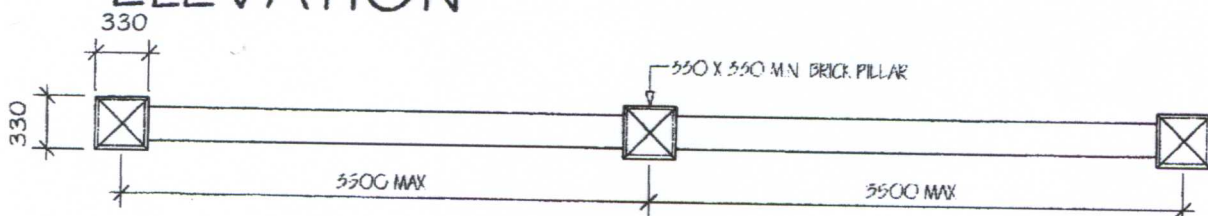
ELEVATION



PLAN

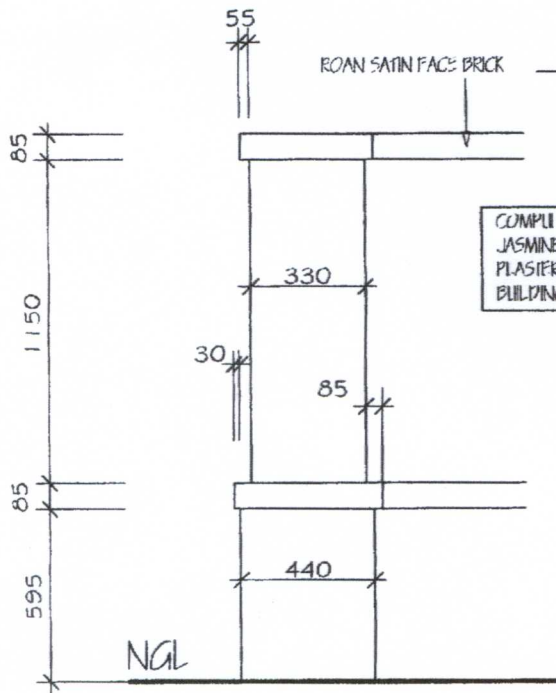


ELEVATION

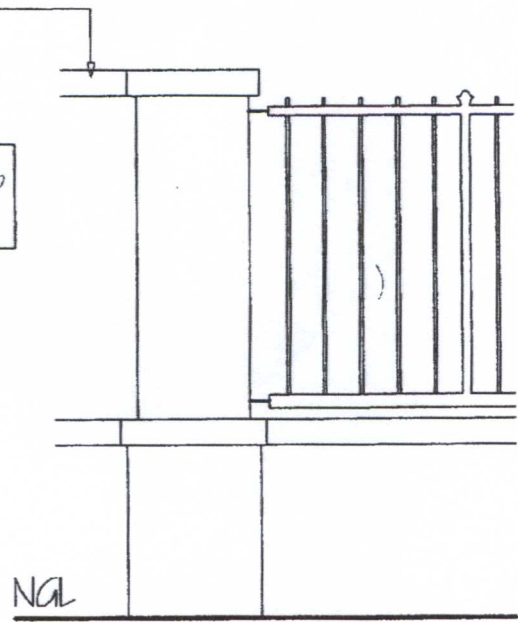


PLAN

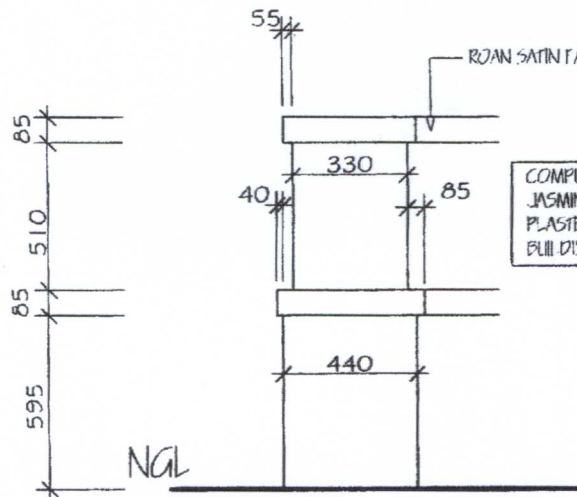




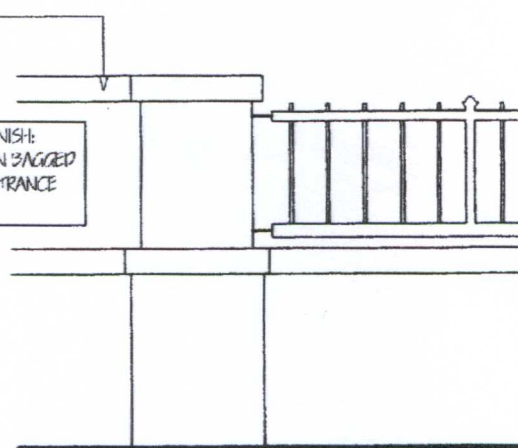
DET. 1



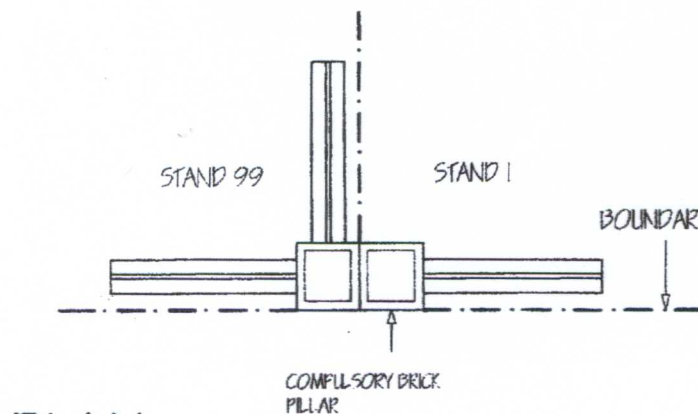
DET. 2



DET. 3

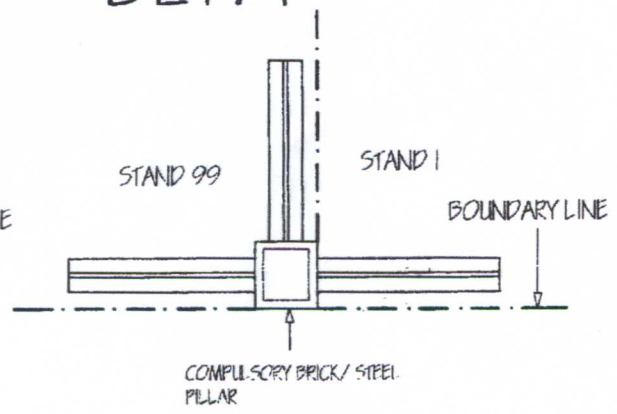


DET. 4



PLAN

NOT ALLOWED



ALLOWED

